

# **EXTERIOR DESIGN CRITERIA**

**REVISED 19 April 2011  
(Includes changes thru 3 DEC 2011)**

Per Section 5.1 of the Covenants, Conditions and Restrictions the Architectural Control Committee has interpreted the items within this document as a clarification of the related sections of the Covenants, Conditions and Restrictions and therefore are subject to Article VIII (for Silver Creek, Ridge Creek, Emerald Valley and Village Northwest) and Article XXV (for The Commons, Stage Coach Crossing, and Timberwilde) of the Covenants, Conditions and Restrictions and these Article's footnote. This document may only be edited or amended by a majority vote of the Architectural Control Committee.

## Change Index

3 Dec 2011

- Pg. 1 Add Under Revised 19 April 2011 (Includes changes thru 3 DEC 2011)
- Pg. 2 Remove “(This page left blank intentionally)”, page is now the Change Index page
- Pg. 3 Add under Design Criteria: Rain Collection Devices .....24  
Religious Displays.....24  
Add under Approval Process: ACC Decision Making Process.....25
- Pg. 4 Change pg. # for Time for Review to 27  
Review Meeting to 27  
Appeal to 28  
Time Limits for Start and Completion to 28  
Inspection to 28  
City of San Antonio Approvals and Permits to 28  
APPENDIX “A” to 30  
Application Form 31-34
- Pg. 16 Line 18 change “flagpoles” to flagpoles  
Line 19 change “fifteen (15)” to twenty (20)
- Pg. 24 Added paragraph Rain Collection Devices  
Added paragraph Religious Displays
- Pg. 25 Added paragraph ACC Decision Making Process

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## **DEFINITIONS**

### **ARCHITECTURAL CONTROL COMMITTEE (ACC, Committee)**

Refers to the committee established in the Declaration of Covenants, Conditions & Restrictions that is empowered to review and approve or disapprove all exterior construction, additions, changes or alterations including the nature, kind, shape, height, materials, color and location of such construction, addition, changes or alterations.

### **ASSOCIATION**

Refers to the Great Northwest Community Improvement Association, Inc.

### **BOARD OF DIRECTORS (Board)**

Refers to the Board of Directors of the Great Northwest Community Improvement Association, Inc.

### **DECLARATION OF COVENANTS, CONDICTIONS AND RESTRICTIONS (CC&R's, Declaration, Deed Restrictions, Covenants)**

Refers to the Declarations of Covenants, Conditions and Restrictions, Great Northwest Subdivision, and Declaration of Covenants, Conditions and Restrictions, Additional Areas of Great Northwest Subdivision, respectively recorded in Volume 7783, Pages 598 - 628, and Volume 2078, Pages 707 - 740, Deed Records of Bexar County, Texas, as supplemented by Certificates of Annexation to the said Declarations of Covenants, Conditions and Restrictions as recorded in Volume 2699, Page 228; Volume 2699, Page 1195; Volume 2917 Page 1062; Volume 3061, Page 1288; Volume 3200, Page 1147; Volume 3204, Page 1656; Volume 3319, Page 130; Volume 3345, Page 1146; Volume 3431, Page 847; and Volume 8305, Page 613; and Declaration of Use Restrictions for Great Northwest (Unit 18A), Volume 6530, pp. 1877 -1895; all Official Public Records of Real Property of Bexar County, Texas.

## **INTRODUCTION/PURPOSE**

Living in a planned community like the Great Northwest offers many advantages as well as imposes certain restrictions. In order to preserve the value, desirability, attractiveness and architectural integrity of the community, the deed restrictions require all exterior construction, additions, changes or alterations be approved in advance by an Architectural Control Committee.

In making its decisions, the Committee considers the nature, kind, shape, height, materials, color and location of desired exterior construction, additions, changes or alterations and their relationship to surrounding structures and topography.

Architectural review is commonly (though mistakenly) thought to be the architectural integrity of the design. The Committee does not seek to restrict individual creativity or personal preference but rather to help assure a continuity and harmony within the community. However, when it is conducted correctly as it is in the Great Northwest it is really a very objective method for preserving and enhancing the character of the community.

Part of the character of a community is its physical attributes. These can be identified and described in both a quantitative and qualitative manner. These attributes have been identified in the Great Northwest and these design criteria are developed to promote them, and must be followed when planning changes to your property.

These guidelines also contain information about the architectural approval process which you should carefully review.

A resident wishing to make an exterior change to his/her home or property must obtain written approval from the Architectural Control Committee prior to making the change. A sample application form that can be photocopied is included with these guidelines (See Appendix A). A checklist of materials that must be submitted with your application form is also included. Work that begins before the approval of the Architectural Control Committee is obtained is at the risk of the property owner and subject to disapproval and may result in legal action against the property owner.

When you consider an exterior change, do not assume that because it has been done by your neighbors or somewhere else in the community that it has been approved.

The role of the Architectural Control Committee is not technical, engineering, legal or the issue of building or other permits. It is the responsibility of the property owner to obtain these through appropriate professionals and the City of San Antonio.

The Committee assumes no responsibility for the structural integrity, safety features or building code compliance of proposed changes or structures; whether or not the location of the proposed changes or structure on the property is free from possible geologic or natural hazards or other possible hazards posed by conditions occurring either on or off the property; or for the internal operation or functional integrity of the improvements or structure.

**THE COMMITTEE DOES NOT REVIEW NOR APPROVE INTERIOR WORK.**

**DESIGN CRITERIA**

**DWELLING SIZE**

***EMERALD VALLEY, RIDGE CREEK***

The minimum size of a home in the Emerald Valley and Ridge Creek subdivisions, not including open porches, garages, carports or patios, is nine hundred (900) square feet for single story houses and one thousand one hundred (1,100) square feet for two-story houses.

***VILLAGE NORTHWEST***

The minimum size of a home in the Village Northwest subdivision, not including open porches, garages, carports or patios, is one thousand (1,000) square feet.

### ***SILVER CREEK***

The minimum size of a home in the Silver Creek subdivision, not including open porches, garages, carports or patios, is one thousand one hundred (1,100) square feet for single-story houses and one thousand three hundred and fifty (1,350) square feet for two-story houses.

### ***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

The minimum size of a home in The Commons at Village Northwest subdivision, not including open or screen porches, terraces, patios, driveways, carports, garages and/or living quarters for bona-fide domestic servants is nine hundred (900) square feet for single story houses and one thousand one hundred (1,100) square feet for two-story houses. The first floor in a two-story structure must contain at least four hundred and fifty (450) square feet of total living area.

## **BUILDING LOCATION**

### **1. FRONTAGE**

#### ***ALL SUBDIVISIONS***

A home constructed on a lot in the Great Northwest must front on the street on which the lot is shown to front on the subdivision plot map. For example, if a home were to be constructed at the corner of Timberwilde Drive and Timber Path, and the lot on which it is to be built is shown on the subdivision plot map to front on Timberwilde Drive, then the front of the home must be designed and constructed to face Timberwilde Drive. The home could not be constructed with the rear or sides facing Timberwilde Drive.

### **2. SETBACKS**

#### ***EMERALD VALLEY***

No building can be located nearer than twenty (20) feet from the front property line. A building cannot be located nearer to a side street line than the minimum distance shown on the subdivision plot for each lot. Eaves, steps and open porches are not considered to be part of a building when determining setback distances.

#### ***VILLAGE NORTHWEST***

No building can be located nearer than twenty (20) feet from the front property line. A building cannot be located nearer to a side street line than the minimum distance shown on the subdivision plot for each lot however, part of a home can be located on an interior side lot line provided there is at least ten (10) feet between it and the adjacent home. This is known as providing for zero lot line construction. Eaves, steps and open porches are not considered to be part of a building when determining setback distances.

#### ***RIDGE CREEK, SILVER CREEK***

No building can be located nearer than twenty-five (25) feet from the front property line. A building cannot be located nearer to a side street line than the minimum distance shown on the subdivision plot for each lot. Eaves, steps and open porches are not considered to be part of a building when determining setback distances.

***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

No building can be located nearer than twenty (20) feet from the front property line. A building cannot be located nearer than 10 feet from the rear property line or five (5) feet from a side boundary line. The Committee has authority to grant variances from these setback requirements if, in its opinion, the proposed location of a building or other structure will not detract from the appearance and value of other lots or have a detrimental effect on the aesthetic integrity and harmony of the subdivision.

***GENERAL***

Location of a home and other improvements on a lot in the Great Northwest is a matter of aesthetics. The Architectural Control Committee will take into account the relation of the home or improvements to other surrounding structures and the topography of the neighborhood. The Committee has the right to refuse approval if it is not satisfied that the location of a proposed change is appropriate for that area.

**EASEMENTS**

***VILLAGE NORTHWEST***

Easements are as shown on the subdivision plot for each lot. Where a home is built using zero lot line construction, there is a three (3) foot easement along the zero setback line over the neighboring lot so an owner can repair and maintain his/her home. Nothing can be constructed or permanently located in this area except fencing and landscaping.

***EMERALD VALLEY, RIDGE CREEK, SILVER CREEK***

Easements are as shown on the subdivision plot for each lot and over the rear five (5) feet of each lot. There is also a three (3) foot easement along each side lot line. Nothing can be constructed or permanently located in these areas except fencing and landscaping.

***THE COMMONS, STAGE COACH CROSSING, TIMBERWILDE***

Easements for each lot are as shown on the subdivision plot.

***ALL SUBDIVISIONS***

There is a general easement over all lots in the Great Northwest for access to and work on utilities, the provision of public services, and to permit entry onto property owned by the Association. This does not prevent or interfere with an owner's development of his/her lot.

In addition, a property owner may grant an easement for a specific purpose over all or a specific part of his/her lot to a utility company or a neighboring property owner. These kinds of easements are usually registered in the county property records and will come to a new owner's attention when the title to his/her lot is searched.

Where there is an easement for utilities (water, sewer, power, gas, telephone, cable TV) no structure, planting or other materials that may damage or interfere with the installation or maintenance of those utilities can be placed in or on the easement. Lawns may be planted in these areas and temporary storage buildings on skids may be located with the approval of the ACC. In Emerald Valley, Ridge Creek and Silver Creek, access to utility

easement areas must be provided through side lot fence gates. In Village Northwest, access may be by side lot fence gates or removable fence sections.

Owners are responsible for the maintenance of easement areas on their properties.

In The Commons, Stage Coach Crossing and Timberwilde those authorized to use easement areas are not liable for any damage done to fences, shrubbery, trees and flowers, or any other property of an owner on the area covered by easement resulting from the use of those easement areas.

### **DRAINAGE**

Drainage is a major concern in the Great Northwest because of the amount of rain that can fall in a very short time.

In easement areas (see previous section) no structure, planting or other material may be placed or permitted to remain which obstructs, slows down or changes the direction of the flow of water through drainage channels in the easements.

### **STYLE/EXTERIOR DESIGN**

The style and exterior design of a home and other improvements on a lot in the Great Northwest is a matter of aesthetics. The Architectural Control Committee is responsible for assuring that the proposed changes “fit” with existing structures and the topography of the neighborhood so the entire area is attractive and complementary. The Committee must be sure the nature, kind, shape, and height of changes that are proposed to be made are in harmony with the immediate neighborhood.

The Committee has the right to refuse approval if it determines the proposed changes are not in harmony with neighboring structures and the topography of the immediate area. For example, a house with more than two (2) stories or a house mostly underground, a house based on a specific regional design like southwest "Pueblo" or Cape Cod, or a round house probably would not be approved by the Committee because they would be out of place in the area.

### **EXTERIOR MATERIALS/FINISH**

The kind of exterior materials and finish used on a building in the Great Northwest is also a matter of aesthetics and requires the approval of the Architectural Control Committee.

#### ***VILLAGE NORTHWEST***

A minimum of twenty-five (25) percent of the first story wall area to the top of the first floor window height, not including openings (like window or doors) and trim, must be masonry including masonry veneer or stucco.

#### ***EMERALD VALLEY, RIDGE CREEK, SILVER CREEK***

The front exterior wall of all dwellings, not including openings (like windows and doors) and trim must be masonry. Masonry includes brick, stucco, masonry veneer and other materials commonly referred to in the San Antonio building industry as masonry.

A home which is built on a corner lot must also have masonry on all side walls of the structure which face a side street from the ground to the top of the first floor window height, not including openings and trim.

#### ***THE COMMONS, TIMBERWILDE***

At least five (5) percent of exterior walls up to eight (8) feet from ground level must be of masonry or masonry veneer. This percentage is calculated based on the aggregate area of all walls, inclusive of door, window and other openings. It applies only to the lower floor of a two-story dwelling. Masonry or masonry veneer includes stucco, ceramic tile, clay, brick, rock and other materials commonly referred to in the San Antonio, Texas area as masonry.

#### ***STAGE COACH CROSSING***

That portion of the exterior walls of the main residence building constructed on any lot shall be at least one hundred (100) percent by area, composed of masonry or masonry veneer with said percentage to apply to the aggregate area of said walls, exclusive of door, window and similar openings. The minimum masonry requirement specified shall apply to the lower floor only for a two-story dwelling. Masonry or masonry veneer includes stucco, ceramic tile, clay, brick, rock and all other materials commonly referred to in the San Antonio, Texas area as masonry. Notwithstanding the foregoing, the Committee is empowered to waive this restriction if, in its sole discretion, such waiver is advisable in order to accommodate a unique or advanced building concept, design or material, and the resulting structure will not detract from the general appearance of the neighborhood.

#### ***GENERAL***

Most often, brick is used to satisfy the requirement for masonry. The color of masonry also must be approved as outlined in these guidelines. A sample board illustrating generally acceptable colors of brick is on display in the Association's main office.

Where siding is used, there is no limitation on using aluminum or vinyl siding except that colors must be approved as outlined in these guidelines. The Committee's responsibility is to insure the proposed exterior materials are in harmony with the immediate neighborhood. A rough-sawn cedar shake exterior finish would likely not be approved, for example, because this finish would be out of character with the existing homes in the area.

The Committee has the authority to waive the masonry requirement in The Commons, Stage Coach Crossing and Timberwilde if, in its sole discretion, it determines a waiver is advisable to accommodate a unique or advanced building concept design or material and the resulting structure will not detract from the general appearance of the neighborhood.

#### **EXTERIOR COLOR**

Color is a very personal thing and owners feel strongly about the colors they prefer for their home. In the Great Northwest, the color used on the exterior of any building, structure or fencing must be approved by the ACC. The Committee will approve only colors that, in its opinion are in harmony with surrounding structures and the aesthetics of the particular neighborhood.

No one color may be appropriate in every part of the Great Northwest and a particular color may be unacceptable in one neighborhood but acceptable in the judgment of the ACC in another neighborhood. Generally, exterior colors to be used in the Great Northwest should be subtle and muted, reflecting area earth tones. Bright primary or other bright colors will not be approved.

To assist owners in selecting appropriate colors, the Committee has adopted a palette of colors that are generally recommended. This includes exterior paint and prefinished siding colors; brick and masonry colors; fence paint/stain colors; and the color of roofing. A color board illustrating recommended exterior paint, siding and asphalt shingle roofing colors is on display in the Association's main office. There may be some minor variations between different manufacturers from the exact colors shown on the color board.

Highly reflective or glossy paints will not be approved for use. Painting of brick and vinyl siding will not be approved.

Care should be taken to avoid the use of an excessive number of different colors. The trim will be one color with the area of the house that is not masonry, another. Typically the garage doors will be of one color that is complementary with the other colors used on the home

Each application will be evaluated on its own merits. Because colors selected must be in harmony with surrounding structures and topography, the ACC retains the right to approve or disapprove an application for an exterior color for a specific building, structure or fencing even though the color selected is generally recommended and/or included on the color board.

## **ROOFING, ROOF VENTS, SKYLIGHTS and GUTTERS**

### **1. PITCH**

Roofs should have a minimum pitch of four (4) inches.

### **2. ROOFING MATERIALS**

#### ***VILLAGE NORTHWEST, SILVER CREEK, RIDGE CREEK, EMERALD VALLEY***

Asphalt shingles, metal shingles with a composition surface, tile, metal tile, seamless aluminum, cedar shakes and metal shakes may all be used in these subdivisions. Only one type may be used on a home.

Use of corrugated metal, fiberglass, or plastic will not be approved.

#### ***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

Roofing is restricted to asphalt shingle or tile. The Committee has authority to approve other roofing and materials when, in its determination, such treatments and materials as proposed will not detract from the quality of the neighborhood.

#### ***GENERAL***

It is important that there be aesthetic harmony with surrounding structures and in a particular neighborhood.

Each application will be evaluated on its own merits. The ACC retains the right to approve or disapprove an application for a particular roofing material for a specific building.

Roofing color must be approved by the Committee (see previous section "**Exterior Color**").

### **3. ROOF VENTS**

Roof vents must be finished in colors compatible, where possible, with the color of the roofing material of the home.

### **4. SKYLIGHTS**

Skylights are permitted with approval of the ACC. All skylights must be the self-flashing type with exposed metal painted the color of the adjacent surface. Where skylights are in direct view of the street at the front of a home, skylights larger than four by four (4 x 4) feet are not permitted. Dual domes and rain diverters are recommended. Skylight glass, plastic, acrylic or other transparent or translucent material is restricted to colors other than white to minimize contrast with the colors of roofing.

### **5. GUTTERS**

If used, gutters must blend with trim color.

## **GARAGES and CARPORTS**

### ***THE COMMONS, STAGE COACH CROSSING, TIMBERWILDE***

A garage for at least one car and not more than four cars must be constructed and maintained at each home. Carports are not permitted. No garage may be enclosed, modified, or converted for any use other than for storage and maintenance of automobiles, except when being used as a builder's temporary sales or construction office prior to permanent occupancy of the main structure.

### ***SILVER CREEK, RIDGE CREEK, VILLAGE NORTHWEST, EMERALD VALLEY***

There is no requirement that a home in these subdivisions have a garage or carport although a garage has been constructed as part of most homes.

### ***GENERAL***

A garage maybe part of or attached to a residence or be a separate structure on the same property. In either case, the design and exterior finish must be in harmony with the single family house located on the same property. Garages and carport are subject to the same setback requirements as are residences and are not permitted to be constructed over easements.

A garage must have a concrete slab.

Garage doors must be finished to be compatible with the exterior finish and colors used on the residence located on the same property.

A garage may not include a toilet, kitchen or other living or sleeping accommodations.

### **DRIVEWAYS and SIDEWALKS**

Construction of driveways and sidewalks in the front yard of a home must be approved by the ACC. Construction of driveways in the side yard of a home on a corner lot also must be approved.

#### ***EMERALD VALLEY, RIDGE CREEK, VILLAGE NORTHWEST, SILVER CREEK***

Driveways must be constructed of concrete. Gravel, dirt, asphalt, brick or paving stone are not acceptable as driveway materials.

#### ***THE COMMONS, STAGE COACH CROSSING, TIMBERWILDE***

Driveways must be surfaced with concrete or other similar hard surfaced material.

#### ***GENERAL***

Driveways maybe constructed wide enough to accommodate two passenger cars parked side-by-side but the ACC has the discretion to refuse to approve construction of a driveway which will include substantially all of the front yard at a residence or where this would be out of harmony with the immediate neighborhood. An eighteen (18) foot width is considered by the Committee to provide ample parking area. Driveways and driveway additions that would result in a driveway wider than eighteen (18) foot generally will not be approved.

Sidewalks maybe constructed of concrete, brick or paving stone.

### **OUTBUILDINGS and STORAGE SHEDS**

There is no absolute restriction on the construction or placement of outbuildings in the Great Northwest but the approval of the ACC must be obtained before an outbuilding is constructed or placed on a property.

#### ***SILVER CREEK, EMERALD VALLEY, VILLAGE NORTHWEST, RIDGE CREEK***

An outbuilding larger than two hundred and fifty (250) square feet will generally not be approved. Construction or placement of outbuildings will be approved only in back yards.

#### ***THE COMMONS, TIMBERWILDE & STAGE COACH CROSSING***

Outbuildings are restricted to one story in height and a total floor area of not more than ten (10) percent of the floor area of the main dwelling. Outbuildings must be located on the rear one-third of the lot and not closer than five (5) feet from a rear or side lot line.

#### ***GENERAL***

An outbuilding may be constructed, affixed to or placed on a concrete, brick or paving stone slab or may be constructed or assembled on skids.

An outbuilding should have a simple, straightforward, unadorned design proportionate in size to its location and

should harmonize with the adjacent residence on the same property. A pre-fabricated metal storage or garden shed assembled by the owner may be placed in the back yard provided it is finished in a neutral color and the peak of the roof does not exceed eight (8) feet in height.

As a condition for approval of an application for construction or placement of an outbuilding or storage shed on a property in the Great Northwest, the ACC may require security or privacy fencing, and/or screening by the use of landscaping, fencing or other treatment.

See section on "**Easements**" on page 8 for more information on permitted locations for outbuildings and storage sheds.

### **PATIOS and DECKS**

Patios and decks may be located in the back yard of a home in the Great Northwest. Construction of a patio or deck, whether covered or not, requires the approval of the Committee.

Patios and decks may be constructed on-grade or elevated at a level which is not higher than the slab on which the residence is located on the same property provided that, for a two-story home, a second story deck maybe constructed off the rear of the home as part of its original construction, the floor of which is at the same elevation as the floor of the second story.

A patio or deck may not be located in an easement.

The slab or floor of a patio or deck may be constructed of pressure-treated wood, wood, brick, paving stone or concrete.

If a patio or deck is covered, it must be of a design and constructed of materials similar to and in harmony with the residence located on the same property and with adjacent structures and topography.

The ACC must approve screening of a patio or deck.

### **FENCES and DECORATIVE WALLS**

Construction of new fencing or replacement of existing fencing requires the approval of the ACC. Fencing which is visible from a street must be privacy fencing.

#### ***EMERALD VALLEY, SILVER CREEK, VILLAGE NORTHWEST, RIDGE CREEK***

Privacy fencing must be six (6) feet in height and constructed of wood or masonry.

Acceptable wood privacy fencing includes the following designs: Solid Board, Board on Board or Woven.

For illustrations of these designs see Figure 1.

#### ***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

Privacy fencing must be six (6) feet in height and constructed of masonry, cedar, spruce or other materials as

may be approved by the Committee.

Acceptable wood privacy fencing includes the following designs: Solid Board or Board on Board.

For illustrations of these designs see Figure 1.

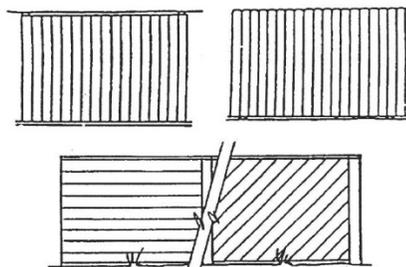
The ACC may waive these limitations for retaining and decorative walls if, in its sole discretion, such a waiver is desirable to accommodate an advanced building concept design or material and the resulting wall will not detract from the general appearance of the neighborhood.

**GENERAL**

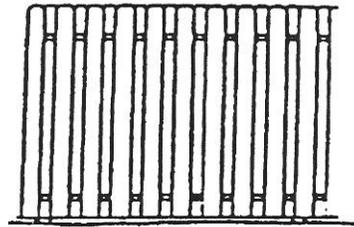
Fencing which is not visible from a street may be constructed of wood, masonry, chain link, or wrought iron. Where fencing is to be placed on the property line between two lots, a joint application by both property owners must be submitted.

FIGURE 1.

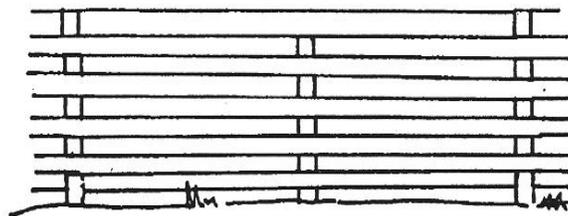
SOLID BOARD



BOARD ON BOARD



WOVEN



Gate design, material and height must generally conform to that of the fence.

Wood fencing in the Great Northwest is generally left unpainted to weather naturally. However, if an owner desires to paint or stain wood fencing, the paint or stain color must be approved by the ACC and must be in harmony with the residence on the property as well as neighboring structures and the topography of the surrounding area.

Fencing and decorative walls are not permitted in the front yard of a home (forward of the front wall line of the house on that property) except for decorative fences and walls which were constructed or placed before May 1,

1995. Retaining walls maybe placed with approval from the Committee.

### **POOLS, HOT TUBS and SPAS**

Pools, hot tubs and spas may be located in back yards in the Great Northwest with the approval of the ACC. Above ground pools, hot tubs and spas may be constructed if, in the opinion of the Committee, neighboring properties are not unreasonably impacted.

Pools, hot tubs and spas are not permitted in easements or setback areas.

A pools size should be proportionate to its location.

Mechanical equipment for pools, hot tubs and spas must be located where it will not, in the opinion of the ACC, unreasonably impact the use or enjoyment of an adjacent property.

As a condition for approval of an application for construction or placement of a pool, hot tub or spa on a property in the Great Northwest, the ACC may require security or privacy fencing, and/or screening by the use of landscaping, fencing or other treatment.

A pool, hot tub or spa must be capable of being drained without discharging water onto the surface of the ground in or on which it is constructed, erected, installed or placed.

All pools must meet the requirements of state and local codes.

### **FLAGPOLES**

Flagpoles may be installed in the Great Northwest with the approval of the Committee. Not more than one (1) flagpole will be approved for a single property.

Flagpoles higher than twenty (20) feet will not be approved.

Flagpoles are not permitted in easements.

### **DOGHOUSES and DOG RUNS**

Dog houses are permitted in back yards only.

No approval is required to construct or place doghouses which have no exterior dimension greater than thirty (30) inches. Approval by the Committee is required for doghouses larger than this.

Where approval for construction or placement of a doghouse is required, the design and exterior finish of the doghouse must be in harmony with the residence located on the same property.

Dog runs must be approved by the ACC and are permitted in back yards only. Dog runs are not permitted in easements and must be located so as to minimize their visual impact on neighboring properties.

As a condition for approval of an application for construction or placement of a dog house on a property, the ACC may require a specific type of fencing be used, and/or screening by the use of landscaping, fencing or other treatment.

## **LANDSCAPING**

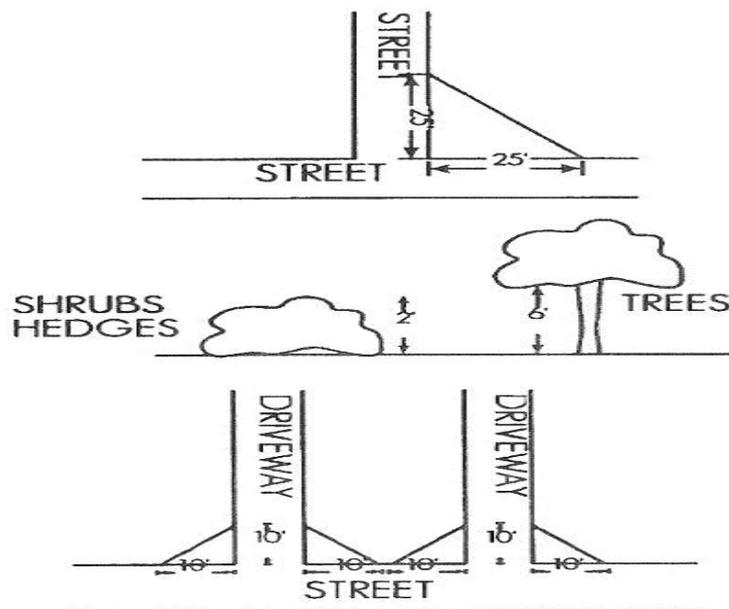
Landscaping is generally left to the individual property owners taste and not subject to specific design requirements.

However, residents are urged to select landscaping materials that reflect the nature of the community and take into account the likelihood that landscape watering may be subject to municipal restriction. Residents are encouraged to preserve existing trees.

Free standing trellises are not permitted in a front yard.

Hedges are permitted in the front yard (front setback area) provided that no hedge higher than three (3) feet is permitted in the first ten (10) feet back from the inside of the city sidewalk at the front of the lot.

FIGURE 2.



On a corner lot, landscaping materials in a triangular area twenty-five (25) feet back from the corner street lines cannot obscure sightlines between two (2) feet and six (6) feet. On all other lots, planting in a triangular area ten (10) feet back from either side of the point where a driveway intersects with a street cannot obscure sightlines between two (2') and six (6') feet. In other words, in these areas an owner may select landscaping materials which are lower in height than two (2) feet and that cannot hang lower than (6) feet from above, but an owner would not be permitted to plant a dense shrub (like a cedar, for example) which is four (4) feet tall. See Figure 2.

## **BASKETBALL BACKBOARDS/HOOPS**

### ***EMERALD VALLEY, RIDGE CREEK, VILLAGE NORTHWEST, SILVER CREEK***

Free standing portable basketball backboards are permitted in these subdivisions without approval from the ACC but must be removed at least fifteen (15) feet back from the street when not in use. Free standing permanent goals in the front yard are not permitted within fifteen (15) feet of a street.

### ***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

Free standing portable or permanent basketball backboards are not permitted within fifteen (15) feet of the front property line without the prior written consent of the Committee.

### ***GENERAL***

Basketball backboards and hoops may be permanently mounted on free standing poles or on a garage or carport in the Great Northwest with approval from the ACC.

Free standing permanent goals are not permitted on an easement, and must be at least five (5) feet from the side and rear property lines. Backboards may be white, clear or tinted. Wood posts must be painted to match the residence on the property. Steel or aluminum poles may be white, black or galvanized.

Basketball backboards and hoops permanently mounted on a garage or carport must be white and mounting hardware must be painted to match the structure.

## **ANTENNAE & SATELLITE DISHES**

### ***EMERALD VALLEY, RIDGE CREEK, VILLAGE NORTHWEST, SILVER CREEK***

Television, cable, CB and "HAM" radio external antennae are discouraged in the Great Northwest and owners are encouraged to install these in the interior of the attic of their residence if desired. However, external antenna may be permitted by the ACC in the back yard provided no antenna may extend more than twenty-five (25) feet from the ground and an antenna may not be mounted on the roof of a residence.

The installation of satellite dishes of less than twelve (12) inches in diameter is regulated by the Federal Communications Commission. Residents are encouraged to place these small dishes below the peak of the roof of a residence and on the back or side of a residence where it is not visible from the street.

Not more than one antennae and one satellite dish is permitted to be installed on any lot. Antennae and satellite dishes may not be placed on common property, easements, or within five (5) feet of a side or rear lot line.

Installation of larger satellite dishes may be permitted with the approval of the ACC. Screening using landscaping, fencing or other treatment may be required by the Committee for approval.

### ***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

No television or radio wires or antennae are permitted on any part of a lot in a location forward of the main roof

ridgeline of the home, or the midpoint of the main roof ridgeline if the roof ridgeline is not parallel to the front lot line.

No such wire or antenna may be mounted so that it extends higher than five (5) above the highest part of the roof of the house on the lot.

No cable equipment, satellite dishes, towers or similar devices for receiving television signals may be located on a lot where they are visible from the street or from other lots.

The installation of satellite dishes of less than twelve (12) inches in diameter is regulated by the Federal Communications Commission.

**GENERAL**

With the approval of the Committee, a small dish digital satellite system may be affixed to the exterior of a residence provided it is not visible from the front of the property or a street adjacent to the property.

**EXTERIOR LIGHTING**

***RIDGE CREEK, EMERALD VALLEY, SILVER CREEK, VILLAGE NORTHWEST***

Exterior lighting mounted on a structure is not subject to general restrictions in these subdivisions. The Association encourages residents to install security lighting as a crime prevention measure. Lighting fixtures should be of a design, size and scale that is appropriate to the structure on which they are mounted.

***THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING***

No exterior lighting of any sort may be installed or maintained on a lot where the light source is offensive or a nuisance to a neighboring property except reasonable security or landscape lighting that has been approved by the ACC.

**GENERAL**

Free standing or pole mounted exterior lighting is not permitted without approval from the ACC and is not permitted within ten (10) feet of a street or back lot line or within five (5) of a side lot line.

**SIGNS**

**1. POLITICAL SIGNS**

Only one sign per candidate or ballot item pertaining to the precinct the homeowner resides in is permitted.

Signs cannot be put up prior to ninety (90) days before the election in question and must be taken down by the tenth (10th) day after the election.

Signs must be ground mounted.

## **2. COMMERCIAL or PROFESSIONAL SIGNS**

A sign may be put up five (5) days prior to the work commencing and must be removed no later than five (5) days after work is completed.

Signs must be ground mounted.

## **3. REAL ESTATE SIGNS**

Only one sign per property is permitted.

Sign must be ground mounted.

Signs noting that the property has been sold or leased must be removed no later than five (5) days after the sale or lease.

## **4. OTHER SIGNS**

All other types of signs, posters, etc. are prohibited.

## **GARAGE CONVERSIONS**

*VILLAGE NORTHWEST, SILVER CREEK, RIDGE CREEK, EMERALD VALLEY*

Conversion of an attached garage to residential use is permitted with approval from the ACC. Conversion of a detached garage to residential use is not permitted.

A garage conversion must be designed to be compatible and in harmony with the original structure and constructed with materials that conform to the type, quality, character and detailing of the original structure. Garage conversions must be finished with the same materials and in the same colors as the original structure. New windows and doors must match or harmonize with and be located to relate well with existing windows and doors.

*THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING*

Garage conversions are not permitted in these subdivisions.

## **ADDITIONS**

Additions to structures in the Great Northwest require the approval of the ACC.

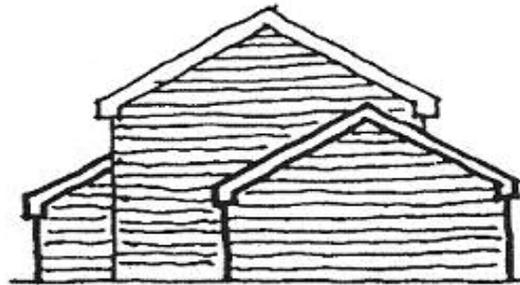
An addition must be designed to be compatible and in harmony with the original structure and constructed with materials that conform to the type, quality, character and detailing of the original structure. Additions must be finished with the some materials and in the same colors as the original structure. The roof pitch should match the original roof and eaves align with existing adjoining eaves. New windows and doors must match or harmonize with and be located to relate well with existing windows and doors. An illustration of these criteria follows this guideline in Figure 3.

A commercially manufactured sunroom addition may be permitted with approval of the ACC. Sunroom additions may be added only to the rear of a home.

Additions should be located to minimize tree removal and must not affect drainage. No addition may be constructed in a setback area or in an easement.

FIGURE 3.

ROOF SLOPE AND  
MATERIALS MATCH  
EXISTING



ADDITION

EXISTING  
HOUSE



SAME WINDOWS AND TRIM  
SAME SIDING MATERIAL/COLOR

**SECURITY DEVICES and BURGLAR BARS**

*RIDGE CREEK, EMERALD VALLEY, VILLAGE NORTHWEST, SILVER CREEK*

Sirens and speaker boxes should be the minimum size needed to be effective and be located unobtrusively.

*THE COMMONS, TIMBERWILDE, STAGE COACH CROSSING*

Exterior speakers, horns, whistles, bells, sirens or other sound devices (except devices such as entry door and patio intercoms) are not permitted.

## **GENERAL**

Security devices must be installed so they do not detract from the integrity of the building design or the appearance of the neighborhood.

Security or burglar bars are strongly discouraged but may be installed with approval from the ACC. Installation on the inside of windows and doors is preferred. When approved, security or burglar bars must be painted a color to blend with their background and harmonize with the other colors used on the home.

## **SOLAR COLLECTORS/PANELS**

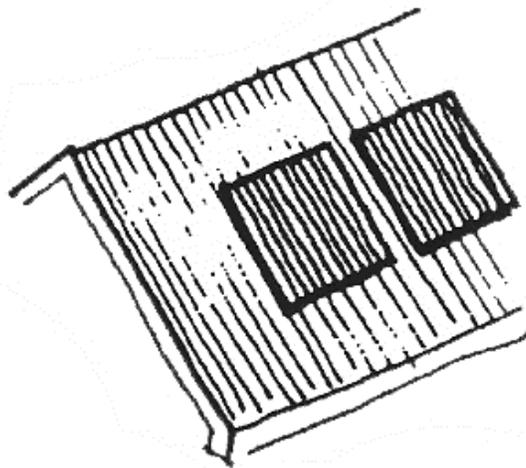
Solar collectors, panels and other solar equipment are not permitted in front yards. Rooftop solar equipment may be installed with approval of the ACC.

Rooftop solar equipment must lie flat on the roof and be placed so the top edge is parallel with the roof ridge. No part of the installation may be visible above the ridge line. Where possible, rooftop solar equipment should be placed on a roof surface which faces away from the street on which the house fronts. An illustration of these criteria follows this guideline in Figure 4.

Support brackets, collector frames, and exposed pipes must be painted in the same color as the adjacent surface.

Pipes, wires and control devices must be concealed as much as practical and, where possible, piping should go through the roof rather than on the face of the roof or dwelling. No approval is required for solar equipment that is located on the side of a residence that is not visible from the street on which the residence fronts or if a corner lot, from the side street. Such equipment may be mounted on the building or on the ground.

**FIGURE 4.**



## **SHUTTERS and AWNINGS**

Shutters may be installed with approval of the ACC. The shutter style must be proportioned and sized to match

existing windows and doors. Shutters are generally installed in pairs on all appropriate windows and doors. The color of shutters must harmonize with other colors on the house.

Awnings may be installed with approval from the Committee. Awnings must have a straightforward design and be consistent with the architectural style and scale of the building to which they will be attached. Awnings must be in a color or colors which harmonize with the other colors on the house. Fabric awnings will generally not be approved.

### **AIR CONDITIONERS, HEAT PUMPS and WATER SOFTENERS**

Window and installed through-the-wall air conditioners, central air conditioner compressors, heat pumps and water softeners are not permitted in the front of a residence.

Installation of a replacement unit in the same location and substantially the same size as the unit it is replacing does not require approval from the ACC.

ACC approval is required if additional compressors, heat pumps or water softeners are proposed to be installed outside an existing structure. As a condition for approval of an application for exterior installation of an additional compressor, heat pump or water softener on a property in the Great Northwest, the Committee may require screening by the use of landscaping, fencing or other treatment.

### **PLAY STRUCTURES and EQUIPMENT**

Children's play equipment may be located in back yards only and may not be placed in easement areas. Where possible, play equipment should be located away from property lines. Screening of play equipment from adjacent houses by the use of trees and shrubs is recommended.

Forts, tree houses, playhouses and other enclosed play buildings or areas with a height of six (6) feet or less from the floor to the peak of the roof and with a total floor area of less than thirty-six (36) square feet are considered to be play equipment.

Forts, tree houses, playhouses and other enclosed play buildings or areas with a floor to peak of the roof height higher than (6) six feet and/or larger floor area than thirty-six (36) square feet are considered to be outbuildings and require the approval of the ACC. See previous section "**OUTBUILDINGS and STORAGE SHEDS**" for more information.

The Committee regulates only the physical structures on a property. However, property owners are reminded that care common sense and courtesy must be used with play structures and equipment. While every recreational or play use of one's property which annoys, inconveniences or discomforts a neighbor is not prohibited by the Association's deed restrictions. When such activity increases to a level which is disorderly, indecent or an affront to an ordinary person's sensibilities it becomes a violation of the Association's deed restrictions affecting how a property may be used.

### **STORM & SCREEN DOORS**

Storm and screen doors should not detract from or adversely affect the exterior appearance of a residence.

When a storm or screen door with or without ornamentation or grill work is finished in the same color as the door which it encloses (including its frame) no approval for installation is required.

Approval from the ACC is required if a storm or screen door is proposed to be installed which is finished in a color other than that of the door which it encloses.

### **WINDOW TINTING**

Windows may be tinted in all areas of the Great Northwest. However, no reflective materials may be used which create a "mirror" effect on windows when viewed from the outside.

### **HANDICAPPED ACCESS**

Exterior modifications such as wheelchair ramps, oversized doors and handrails which are required for a handicapped resident to have safe and convenient access to a residence are permitted with the approval of the ACC. Such modifications are required to be constructed in such a manner as to minimize their impact on the aesthetics of the residence and the surrounding neighborhood

### **WORKMANSHIP**

The quality of work should equal or be better than that originally done in the neighborhood. If past building codes or practices are no longer acceptable, current or better codes or practices must be followed and current or better materials used.

### **OTHER EXTERIOR IMPROVEMENTS/MODIFICATIONS**

Exterior improvements and modifications not specifically described in these Design Criteria shall nevertheless be subject to review and approval by the Committee.

### **RAIN COLLECTION DEVICES**

Rain collection devices may not be visible from the street and must conform to city, county and state health ordinances.

### **RELIGIOUS DISPLAYS**

Religious items displayed on the front door or the doorframe of a home cannot be larger than twenty- five (25) cumulative square inches in size; cannot contain language or graphics patently offensive to a passerby; and must conform to the Association's color pallet.

## **APPROVAL PROCESS**

### **ACC DECISION MAKING PROCESS**

The Exterior Design Criteria (EDC) serve as a guide for residents and the Architectural Control Committee (ACC) for determining what is permissible when an owner/resident wants to make a modification to exterior physical structures on a Great Northwest property. When the ACC considers an application to modify or improve a property it uses the standards set forth in the EDC as a guide and the Covenants, Conditions and Restrictions (CCR) as its primary authority for deciding whether the proposed changes are acceptable and will be approved. An owner/resident should review the EDC and the CCR before planning a project and submitting an application to assure the proposed changes conform to the standards. Generally an application that complies with the guidelines of the EDC will likely be approved by the ACC. The ACC, however, maintains the right to deny any application if, in its judgment, a proposed change is incompatible with the character of the surrounding neighborhood or poses a safety or legal hazard to the Association and/or its residents. The ACC also maintains the right to approve an application whose proposed changes do not strictly meet the guidelines of the EDC if, in the ACC's judgment, the proposed change is in character with the surrounding neighborhood and will result in the subject property's appearance equaling or exceeding community standards as expressed in the EDC and CCR. In making its decisions the ACC may also consider the degree to which new technologies, materials, and methods not covered in the EDC's guidelines meet the spirit and intent of the EDC's standards.

### **APPLICATION FORM**

The Architectural Control Committee for the Great Northwest has approved a simple, standard form that must be used by any property owner seeking approval to make an exterior change to his/her home or property.

A copy of this form is included with these Exterior Design Guidelines. See Appendix A.

Additional copies of the application form are available during regular office hours at the main office of the Great Northwest Community Improvement Association, Inc. or may be obtained from the Association's website, <http://www.greatnorthwest.org>.

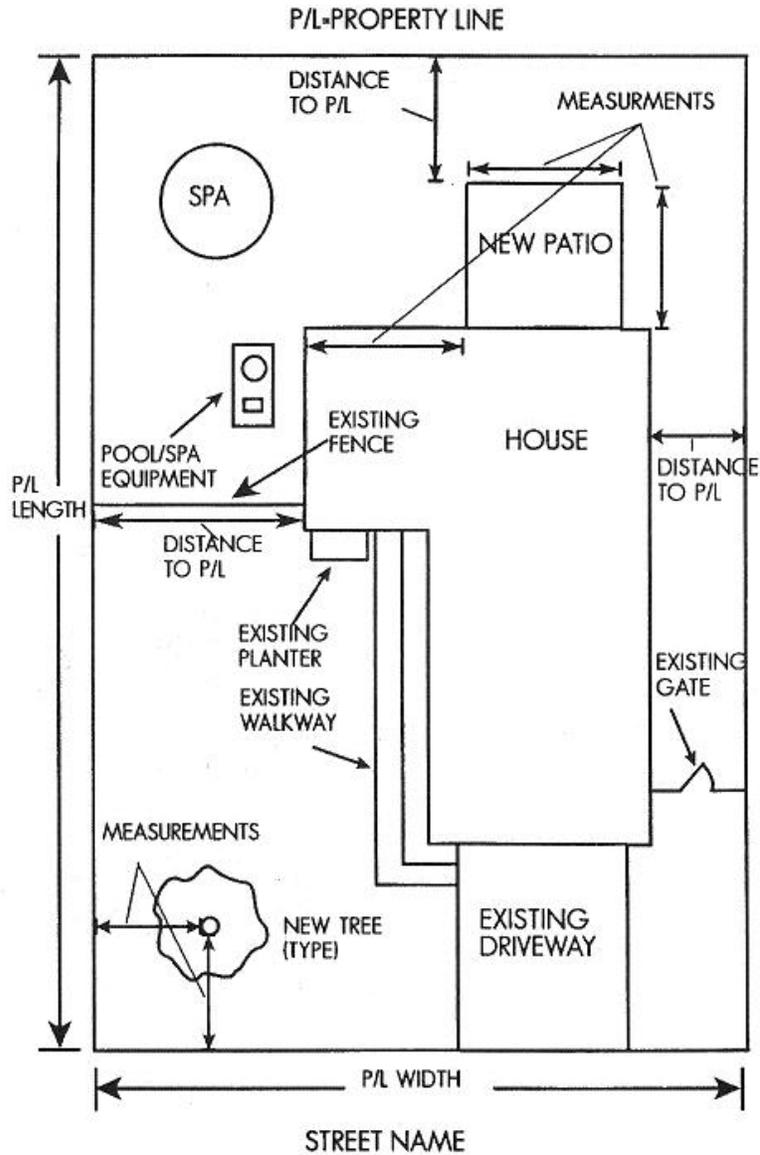
### **MATERIALS REQUIRED WITH APPLICATION**

The following materials must be submitted with your completed application form:

#### **1. PLOT PLAN (IF APPLICABLE)**

A plot plan is a scale drawing of your property showing the location of existing structures and improvements. Dimensions must be shown on your plot plan. Easements and set-backs also must be shown. The ACC prefers you use a copy of the plot plan which was done when you purchased or refinanced your home and that is probably with your closing papers. An example of a plot plan is shown in Figure 5.

**Figure 5**



A plot plan is not required for an application for approval of exterior painting, roofing or siding.

**2. COLOR SAMPLES (IF APPLICABLE)**

Color samples of all paint or stain proposed to be used. If no painting or staining is proposed, no color samples need to be submitted.

**3. MATERIAL SAMPLES**

Samples of roofing, siding, brick or other exterior materials proposed to be used. If use of new or different exterior materials is not requested, no material need be submitted:

#### **4. DRAWINGS OR BLUEPRINTS OF CONSTRUCTION PLANS**

One set of drawings or blueprints. These should include elevations or drawings of what your building or addition will look like when finished and should include the nature, kind, shape, dimensions and materials of your proposed improvement.

Drawings or blueprints are not required if there is no construction, addition or renovation proposed.

#### **5. MANUFACTURER'S SPECIFICATIONS OR ILLUSTRATIONS (IF APPLICABLE)**

These are required, for example, for owner-assembled outbuildings, play equipment, sunrooms, etc.

*Your completed application form and materials submitted with it will not be returned. Please be sure to make copies for your records.*

#### **TIME FOR REVIEW**

The ACC has thirty (30) days after your application is submitted to review and approve or deny it.

If you have not provided sufficient information with your application, you will be notified to submit additional information and your application is not deemed to have been submitted for review until this information is provided.

You should not begin work on your project until you have received approval from the ACC. Work which begins before the approval of the ACC is obtained is at the risk of the property owner and subject to disapproval which may result in legal action against the property owner.

#### **REVIEW MEETING**

The Architectural Control Committee meets once every two (2) weeks to review applications that have been submitted.

Review meetings are working sessions and property owners may be present when their applications are considered. Contact the staff at the main office of the Great Northwest Community Improvement Association, Inc. for information on the review meeting at which your application will be considered.

#### **DECISION**

Following the Committee review meeting, the property owner will receive notice in writing of the committee's decision.

A property owner may obtain unofficial information about the committee's decision by telephoning the staff at the main office of the Great Northwest Community Improvement Association, Inc. after 8:30 a.m. on the day following the review meeting. However, owners should remember that any such information is unofficial and not guaranteed in any way. Office staff do not make and cannot change the decision of the Committee.

## **APPEAL**

All decisions of the Architectural Control Committee are final and binding. Review of the decisions of the committee may be conducted only by procedures for injunctive relief if the actions of the committee are patently arbitrary and capricious.

However, at the request of a property owner, the Committee will reconsider an application that it has rejected. Application for reconsideration must be made in writing to the committee within twenty-one (21) days of the date of the review meeting at which the original application was rejected. A property owner may attend and participate in the discussions of the committee at such reconsideration.

## **TIME LIMITS FOR START and COMPLETION**

All construction or other exterior work approved must be started within three (3) months of the date of the notice of approval and must be completed within six (6) months of the date of the notice of approval.

In the event work is not started within the allotted period, approval will terminate and another application must be made for approval to proceed with changes.

Failure to complete an change within six (6) months may constitute a nuisance under provisions of the CC&RS and make the properly owner subject to legal action.

## **INSPECTION**

Members of the Architectural Control Committee and staff of the Great Northwest Community Improvement Association, Inc. may inspect your property to insure the project is being completed as approved.

## **CITY OF SAN ANTONIO APPROVALS and PERMITS**

In addition to ACC approval many projects also require permits from and review by the City of San Antonio. A property owner is responsible for obtaining all required city approvals and permits and should contact the City of San Antonio Building Inspections Department before any work is started to verify what permits and approvals are required.

Architectural Control Committee approval does not relieve an applicant of the responsibility to obtain necessary city approvals and permits and does not constitute a waiver of any requirements of any applicable governing agency.

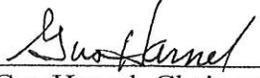
Plan approval and issuance of a permit by the City of San Antonio Building Inspections Department does not constitute approval by the Architectural Control Committee nor does it obligate the Architectural Control Committee to approve any application.

## **TRANSFER OF APPROVAL TO NEW OWNER**

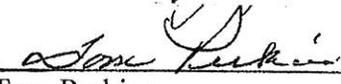
If a property is sold after an approval for a change is granted by the ACC, unless the work has been started, any such approval is voided by the sale of the properly and a new application must be submitted to the Committee

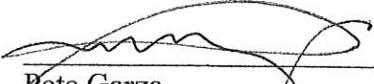
by the new owner. Any work which has been started but not completed at the time of a sale must be completed as approved by the Committee.

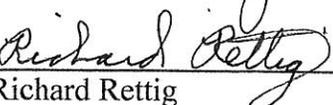
This document approved by the Architectural Control Committee members on 19 April 2011:

  
Gus Hamel, Chairman

  
Mike Yager, Vice-Chairman

  
Tom Perkins

  
Pete Garza

  
Richard Rettig

**APPENDIX "A"**

REVISED FEBRUARY 2011

Great Northwest Community Improvement Association, Inc.  
8809 Timberwilde Drive  
San Antonio TEXAS 78250  
PH: 210.681.2983 FX: 210.681.2983  
M-F 8:30am - 7:00pm



*Emerald Valley*  
*The Commons*  
*Village Northwest*  
*Ridge Creek*

*Silver Creek*  
*Timberwilde*  
*Stage Coach Crossing*

**APPLICATION**  
**ARCHITECTURAL CONTROL COMMITTEE**  
**FOR APPROVAL OF EXTERIOR IMPROVEMENTS**

**GENERAL INFORMATION**

GENERAL INFORMATION	
<b>NAME:</b>	<b>PHONE#</b>
<b>GNW PROPERTY ADDRESS:</b>	<b>MAILING ADDRESS (if different)</b>

**PROPOSED EXTERIOR IMPROVEMENTS/MODIFICATIONS**

**Describe your proposed exterior improvements/modifications**


**PROJECT DRAWINGS/PLANS & SPECIFICATIONS**

Use this space below to provide a scale drawing of your proposed improvements/modifications including dimensions, and describe materials and finishes proposed to be used. If exterior painting is proposed, attach color chips/samples on this page. If construction drawings are available and include plans and elevations, a copy of these will be accepted in place of the scale drawing and should be attached on this page as well.

**CONSTRUCTION DRAWINGS, PLANS, MATERIAL SAMPLES AND COLOR CHIPS CANNOT BE RETURNED.**

**PROPOSED WORK SCHEDULE**

<b>PROPOSED START DATE</b>
<b>PROPOSED COMPLETION DATE</b>



**Information for Applicants-PLEASE READ CAREFULLY**

1. Please refer to the Association’s publication *EXTERIOR DESIGN GUIDELINES* for detailed information on standards which have been established for exterior improvements/modifications in the Great Northwest.
2. **For your PROTECTION, contact the City of San Antonio about building permit requirements before starting any work on the property.** It is the responsibility of the property owner to determine any proposed improvement or modification are structurally, mechanically and otherwise safe, and designed and constructed with applicable building codes, fire code, other laws or regulations, and sound building practices.  
  
The Architectural Control Committee and the Association assume **NO RESPONSIBILITY** for structural integrity, safety features or other building code compliance or proposed improvements/modification; whether or not the location of proposed improvement/modification is free from possible geologic or natural hazards or other possible hazards caused by conditions occurring either on or off the property; or for the internal operation or functional integrity proposed improvements/modifications.
3. The Architectural Control Committee will review your application as quickly as possible. The Committee meets every 2 weeks and the Association’s deed restrictions permit the committee to take up to 30 days from the date of your application submission to approve or deny it.  
  
If you have not submitted sufficient information with your application, you will be notified to submit additional information and your application is not deemed to have been submitted for review until this information is provided.  
  
**DO NOT BEGIN WORK ON YOUR PROJECT UNTIL YOU HAVE RECEIVED APPROVAL FROM THE ARCHITECTURAL CONTROL COMMITTEE. WORK WHICH BEGINS BEFORE SUCH APPROVAL IS AT RISK OF THE PROPERTY OWNER AND SUBJECT TO DENIAL WHICH MAY RESULT IN LEGAL ACTION AGAINST THE PROPERTY.**
4. Once approval has been received, work on your project must begin within 3 months and be completed within 6 months.
5. Your completed application form and materials submitted with it **will not be returned.** Please be sure to make copies for your records.

**OWNER CERTIFICATION**

I CERTIFY THAT THE INFORMATION INCLUDED ON AND WITH THIS APPLICATION IS AN ACCURATE REPRESENTATION OF THE PROPOSED IMPROVEMENTS/MODIFICATIONS AND THAT THE WORK WILL CONFORM TO APPLICABLE STANDARDS. I FURTHER CERTIFY THE WORK WILL BE COMPLETED AS OUTLINED IN THIS APPLICATION AND AS APPROVED. I UNDERSTAND WORK IS NOT TO BEGIN UNTIL APPROVAL HAS BEEN RECEIVED. I AUTHORIZE THE ARCHITECTURAL CONTROL COMMITTEE OR ITS REPRESENTATIVES TO ENTER ONTO MY PROPERTY TO INSPECT THE PROJECT TO CONFIRM COMPLETION AS APPROVED.

Signature of Owner \_\_\_\_\_ Date \_\_\_\_\_

**Office use Only**

<input type="checkbox"/> <b>REVIEWED BY STAFF</b> <input type="checkbox"/> <b>APPROVED AS SUBMITTED</b> <input type="checkbox"/> <b>APPROVED WITH CONDITIONS</b> <input type="checkbox"/> <b>DENIED</b> <input type="checkbox"/> <b>INSPECTED ON COMPLETION</b>	<table border="0"> <tr> <td style="border-top: 1px solid black; width: 150px;">Staff Member</td> <td style="border-top: 1px solid black; width: 150px;">Date Reviewed</td> </tr> <tr> <td style="border-top: 1px solid black;">Approved By</td> <td style="border-top: 1px solid black;">Date</td> </tr> <tr> <td style="border-top: 1px solid black;">Outline Conditions</td> <td></td> </tr> <tr> <td style="border-top: 1px solid black;">Denied By</td> <td style="border-top: 1px solid black;">Date</td> </tr> <tr> <td style="border-top: 1px solid black;">Inspected By</td> <td></td> </tr> </table>	Staff Member	Date Reviewed	Approved By	Date	Outline Conditions		Denied By	Date	Inspected By	
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Approved By	Date										
Outline Conditions											
Denied By	Date										
Inspected By											

**GREATNORTHWEST COMMUNITY IMPROVEMENT ASSOCIATION, INC.**  
**8809 Timberwilde Drive**  
**San Antonio, TX 78250**

